



**17 Henry Hughes Drive**

CW2 5GB

**£230,000**



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STEPHENSON BROWNE

Countryside living with a contemporary feel! Stephenson Browne proudly bring to market this beautifully presented family home situated within the sought after Cherry Tree Park development in the lovely village of Shavington. The property on Henry Hughes Drive occupies a prime position within the development and will certainly impress upon inspection. This home is immaculately presented throughout offering a perfect blend of comfort and style. With three well-proportioned bedrooms, this property is ideal for families or those seeking extra space.

Upon entering, you will be greeted by a welcoming entrance with invaluable cloakroom off, the beautifully fitted kitchen is located to the front sure to impress any culinary enthusiast. The spacious lounge diner located to the rear is a highlight of the home, featuring French doors that open directly into the good sized garden, allowing natural light to flood the space and creating a seamless connection between indoor and outdoor living.

With three well proportioned bedrooms, this property is ideal for families or those seeking extra space perhaps to utilise a bedroom as a study or hobby room.

The property also benefits from driveway parking for two cars, a valuable feature in this sought after location. The combination of modern amenities and thoughtful design makes this home a wonderful opportunity for anyone looking to settle in a lovely modern development.

With its prime position and attractive features, this terraced house is not to be missed. Come and experience the charm and convenience of this delightful property for yourself.

Cherry Tree park offers excellent facilities for all home owners including a delightful open play area with architect designed play equipment literally a stones throw away from your front door. There are lovely walks into open countryside as well as a wildlife basin, all within easy reach and excellent schools, shops and amenities including a leisure centre within the village.





## Entrance Hall

## Cloakroom

## Fitted Kitchen

10'9" x 6'11" (3.279m x 2.119m)

## Lounge Diner

14'1" x 14'0" maximum (4.295m x 4.275m maximum)

## Stairs to First Floor

## Bedroom One

13'3" x 7'6" (4.058m x 2.288m)

## Bedroom Two

11'4" x 7'6" (3.473m x 2.310m)

## Bedroom Three

8'8" x 5'11" (2.643m x 1.808m)

## Bathroom

5'9" x 5'9" (1.760m x 1.760m)



## Externally

The property has a good size enclosed garden to the rear with flagged patio and lawn.

## Tenure

We understand from the vendor that the property is freehold. We would however recommend that your solicitor check the tenure prior to exchange of contracts.

## Need to Sell?

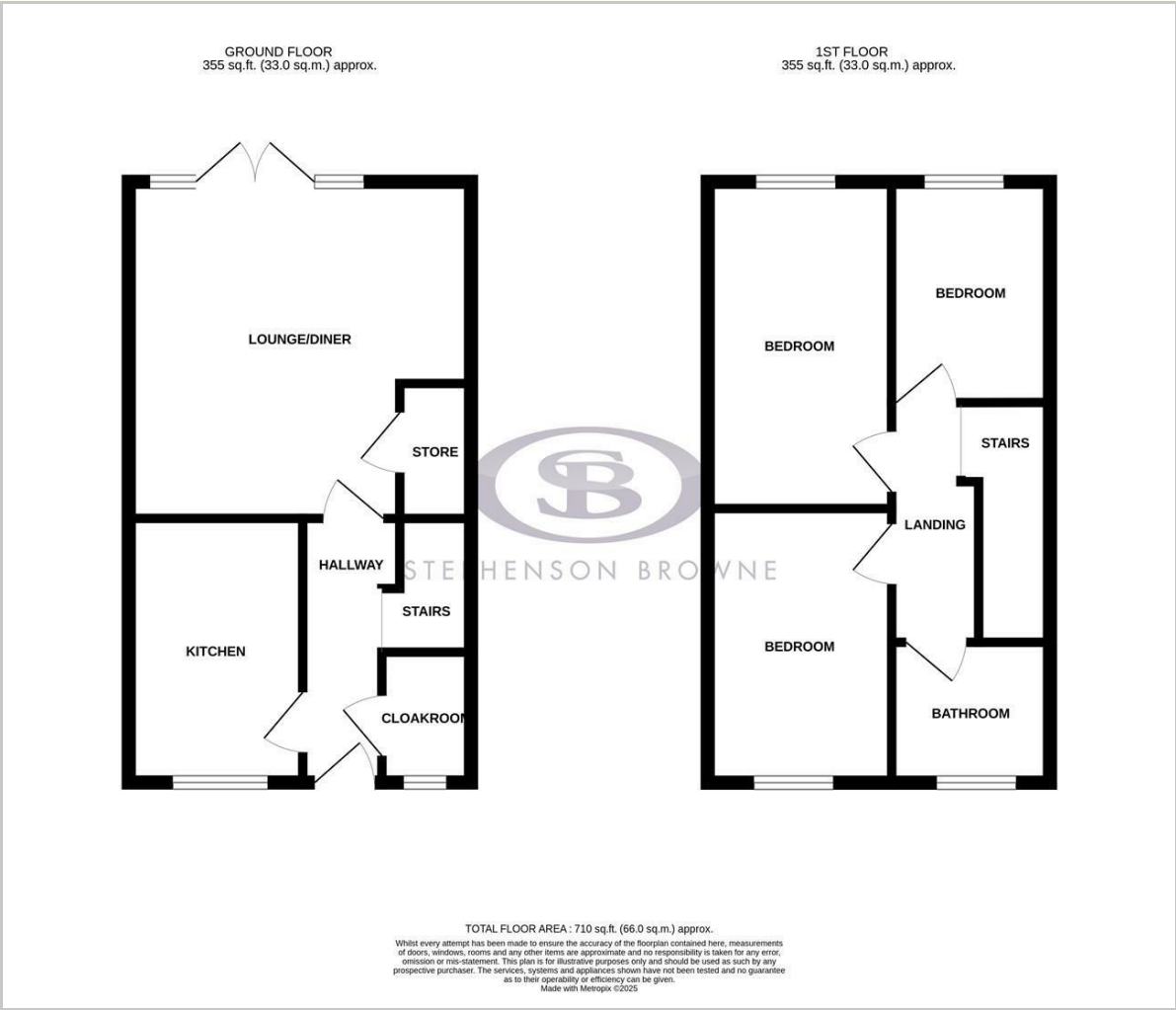
For a FREE valuation please call or e-mail and we will be happy to assist.

## Council Tax

Band C



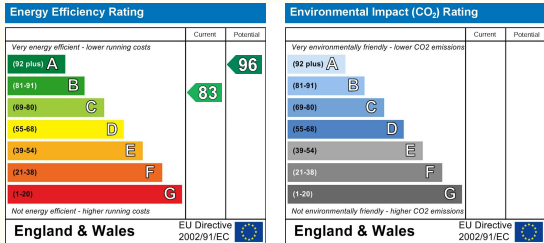
Floor Plan



Area Map



Energy Efficiency Graph



Viewing

Please contact our Crewe Sales Office on 01270 252545 if you wish to arrange a viewing appointment for this property or require further information.

NOTICE: Stephenson Browne for themselves and for the vendors or lessors of this property whose agents they are give notice that: (1) the particulars are set out as a general guideline only for the guidance of intending purchasers or lessees, and do not constitute, nor constitute part of, an offer or contract; (2) all descriptions, dimensions, references to condition and necessary permissions for use and occupation, and other details are given in good faith and are believed to be correct but any intending purchasers or tenants should not rely on them as statements or representations of fact but must satisfy themselves by inspection or otherwise as to the correctness of each theme; (3) no person in the employment of Stephenson Browne has any authority to make representation or warranty whatever in relation to this property. (4) fixtures & fittings are subject to a formal list supplied by the vendors solicitors. **Referring to:** Move with Us Ltd **Average Fee:** £123.64

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